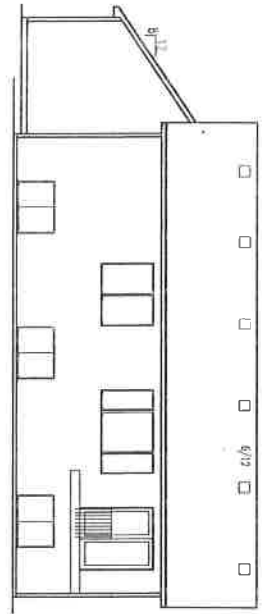
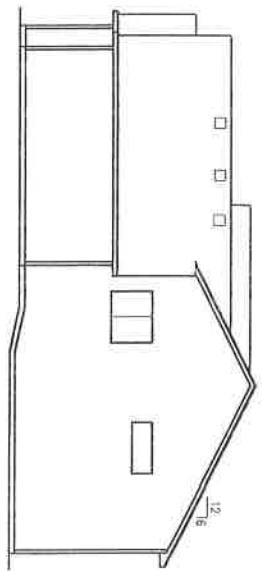


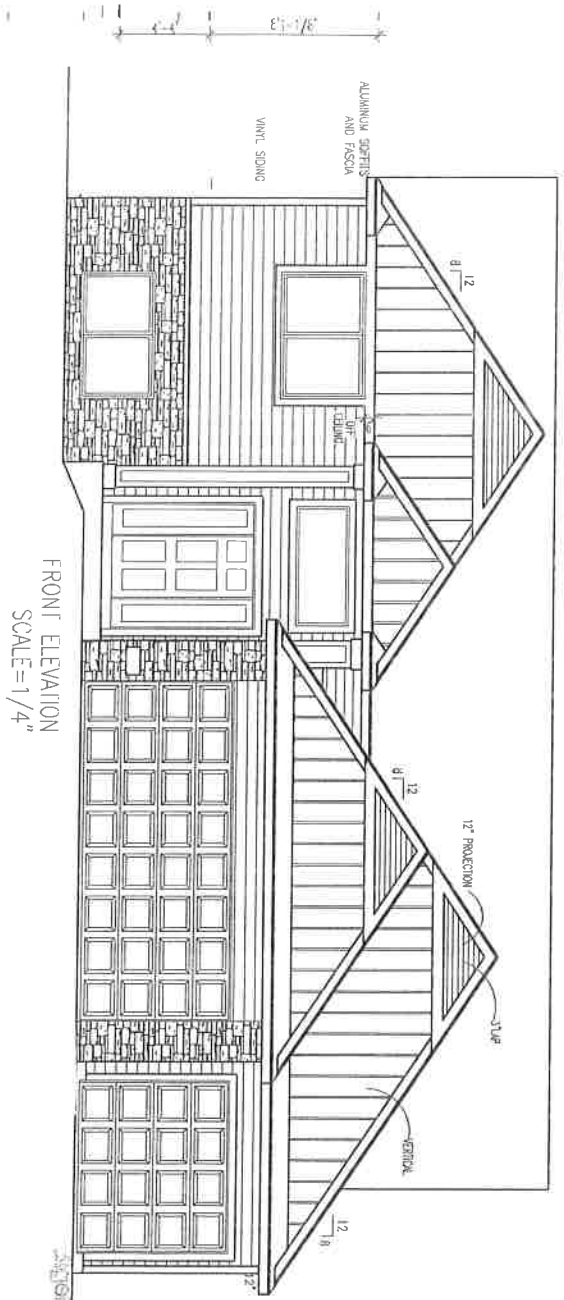
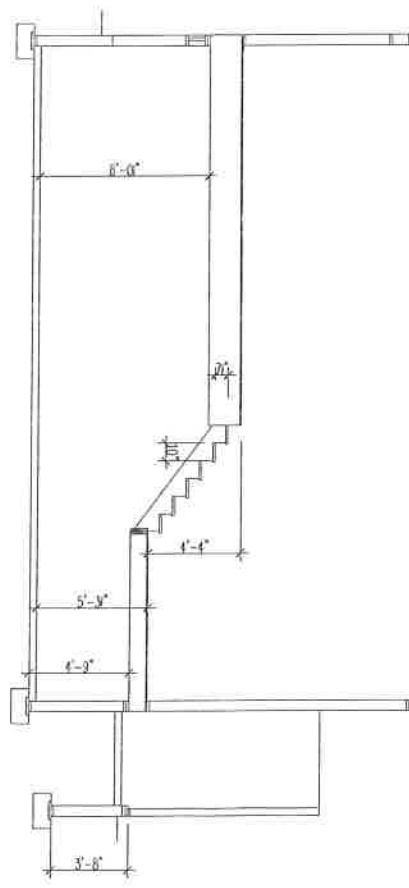
RIGHT ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



LEFT ELEVATION
SCALE 1/8"=1'-0"



FRONT ELEVATION
SCALE=1/4"

Bigelow and Lennon Construction
211 1st St. SW
Syracuse, MN 55082

CONTRACTOR:
BIGELOW LENNON
OWNER:
R.V.M. 6TH. #3-1

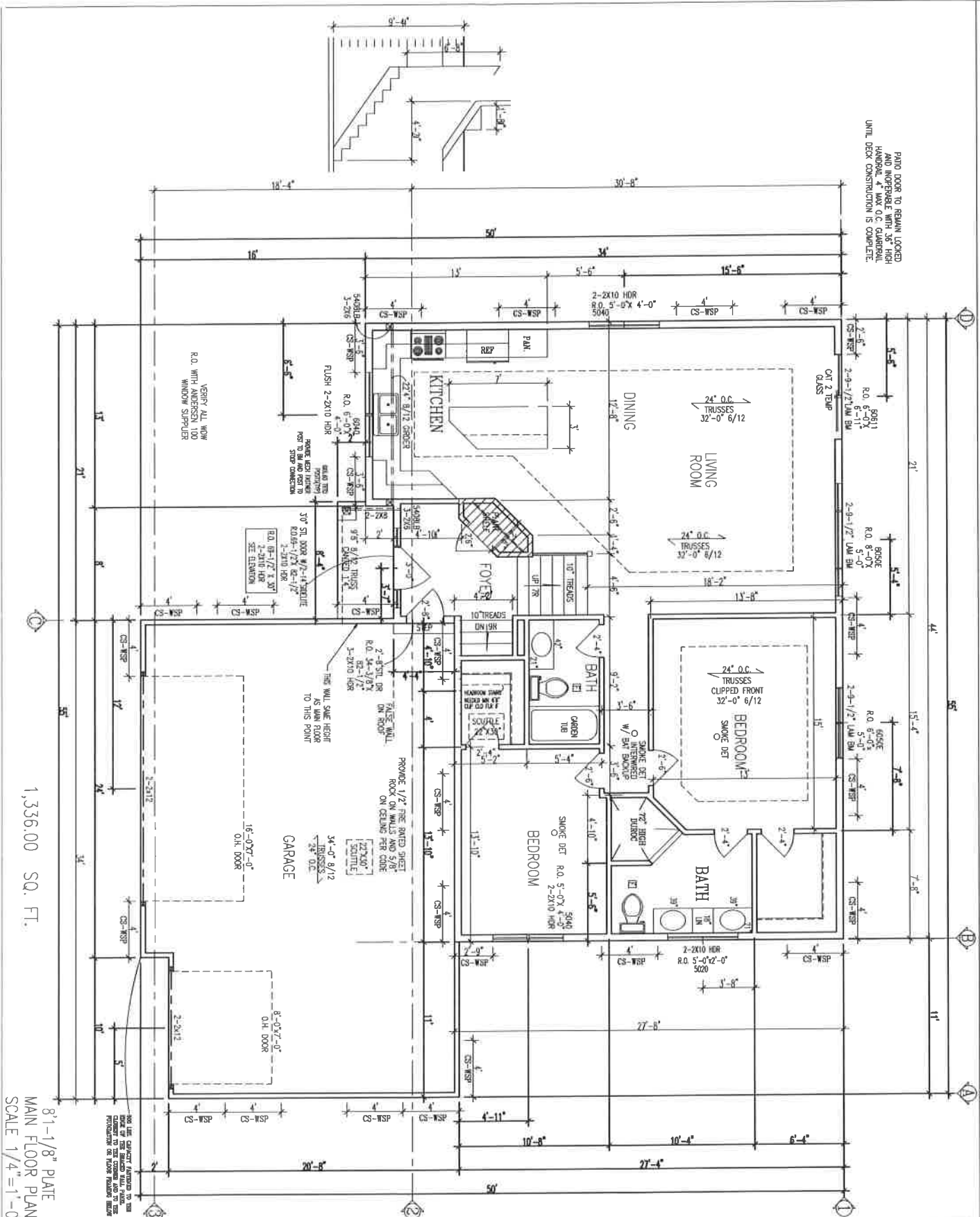
These drawings have been prepared using information provided by the customer/contractor and are hereby warranted for the accuracy of the information provided. The drawings are not a substitute for permit drawings prepared by a contractor or architect and may not meet applicable state and local building codes. The customer should consult an architect or contractor to determine if the drawings need to be changed to satisfy all state or local building codes or requirements. I, the architect, make no warranty, expressed or implied, as to the accuracy, completeness, or suitability of the drawings for any purpose other than that intended. I am not responsible for delays or damages arising from errors, omissions, deficiencies, omissions, or omissions, or omissions of the drawings.

Acknowledged by _____ Customer/Contractor Signature _____ Date _____

**PROGRESSIVE PLAN
DESIGN LLP**
RESIDENTIAL ARCHITECTURE
714 County Rd 3 NW, Byron, MN 56008
(507) 424-1828 FAX: (507) 424-1813

| | |
|----------|-------------|
| DATE | DESCRIPTION |
| 11-25-20 | NOTED |
| 12-18-20 | NOTED |
| 1-13-21 | NOTED |
| 1-13-21 | NOTED |

PANO DOOR TO REMAIN LOCKED AND IMPERMEABLE WITH 36" HIGH HANDRAIL, 4" MAX O.C. GUARDRAIL. UNTIL DECK CONSTRUCTION IS COMPLETE.



1,336.00 SQ. FT.

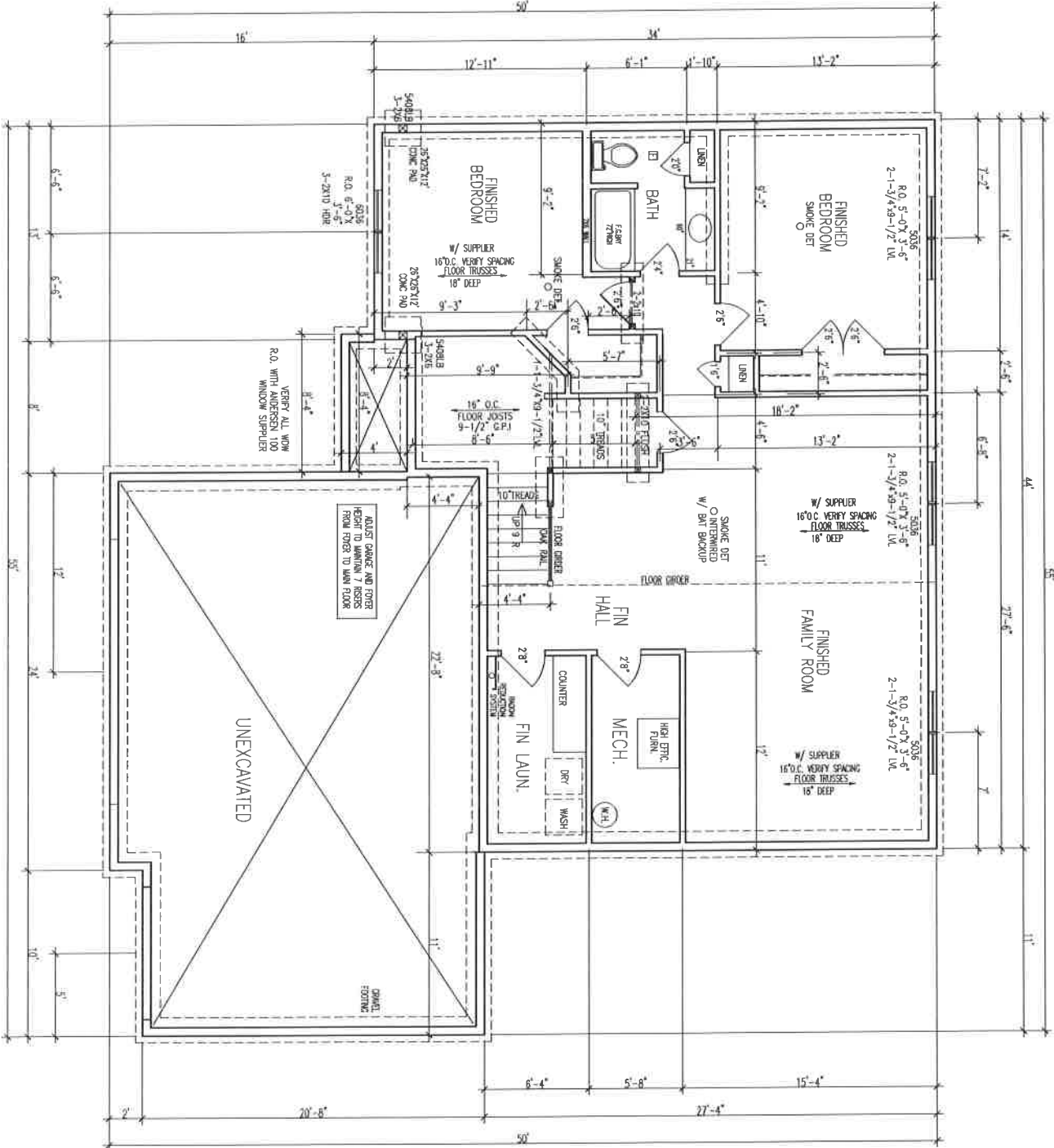
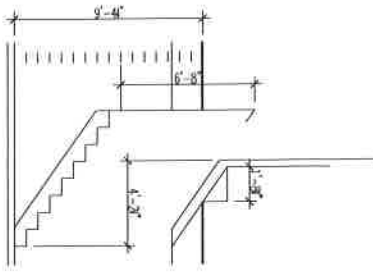
8'-1 1/8" PLATE
MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"

CONTRACTOR:
BIGELOW LENNON
OWNER:
R.V.M. 6TH. #3-1

These drawings have been prepared using information provided by the customer/contractor who is solely responsible for the accuracy of the information provided. The drawings are not a substitute for permit drawings prepared by a contractor or architect and may not meet applicable state and local building codes which may vary widely. These plans are intended as a guide for building with a knowledgeable, skilled, licensed contractor and local codes and practices. Before starting construction, the customer should consult with the building codes or inspectors. The contractor is responsible for obtaining all necessary permits to project at project site. Consult local building officials to determine if it is building permitted in project area. Customer/contractor is responsible for obtaining all necessary permits, easements, variances, approvals, construction, or defaults of the drawings.
Acknowledged by _____ Customer/Contractor Signature _____ Date _____

PROGRESSIVE PLAN DESIGN LLP
RESIDENTIAL ARCHITECTURE
714 County Rd 5 NW, Byron, MN 56008
(607) 484-1908 FAX: (607) 484-1915

| | |
|---------|-------------|
| DATE | DESCRIPTION |
| 2-25-20 | NOTED |
| 2011813 | NOTED |
| | |



1,336.00 SQ. FT.
LOWER FLOOR PLAN
SCALE 1/4" = 1'-0"

| | |
|---------|-------------|
| DATE | DESCRIPTION |
| 2-25-20 | NOTED |
| 2011813 | NOTED |

CONTRACTOR:
BIGELOW LENNON

OWNER:
R.V.M. 6TH. #3-1

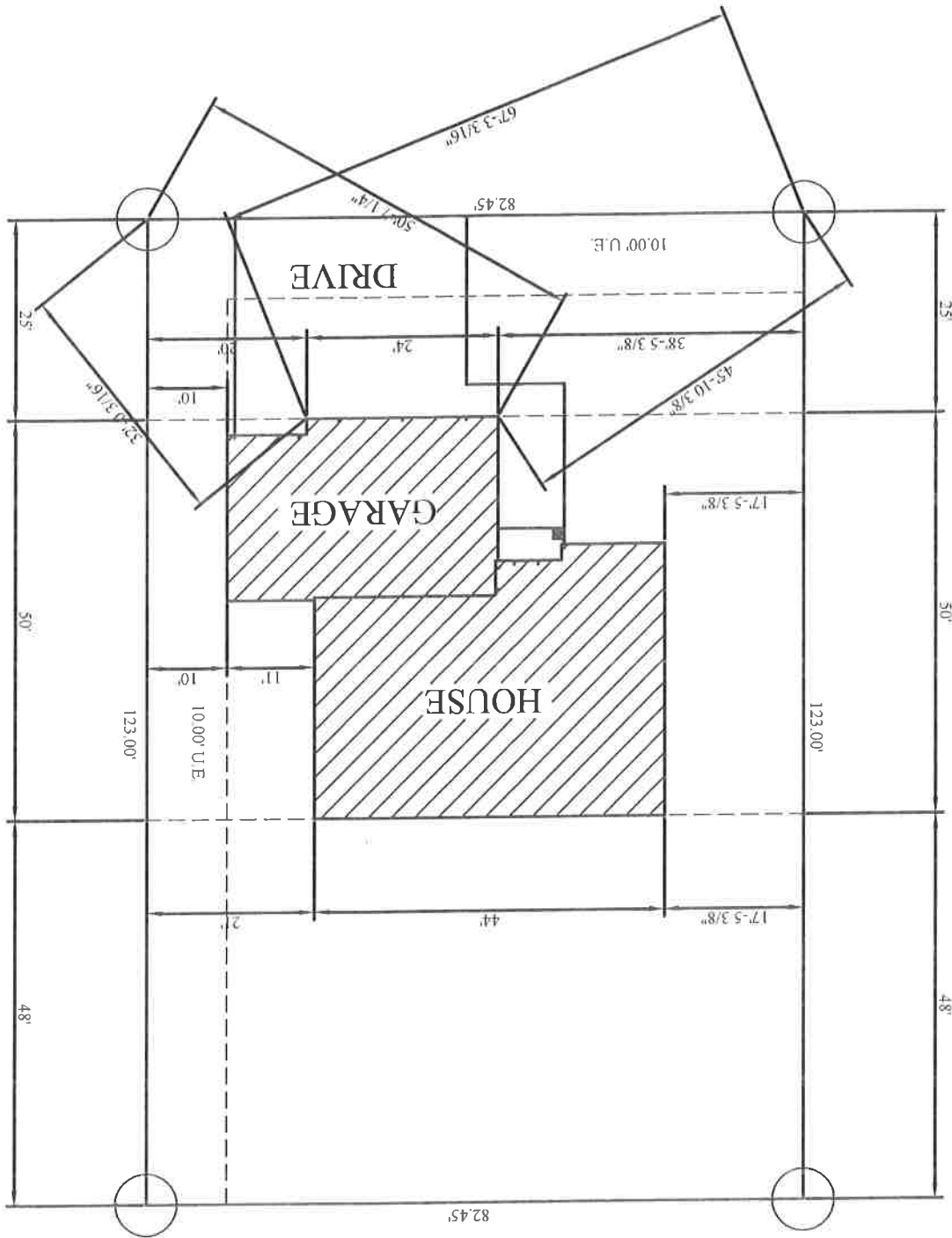
These drawings have been prepared using information provided by the customer/contractor who is solely responsible for the accuracy of the information provided. The drawings are not a substitute for permit drawings prepared by a contractor or architect and may not meet applicable state and local building codes when not very clearly. These plans are intended as a guide for building and are not intended to be used for construction. The customer should consult with the contractor and architect before starting construction. The customer should consult with the contractor and architect to determine if the drawings need to be changed to satisfy (1) state or local building codes or regulations; (2) general structural requirements; (3) existing conditions; (4) project or contract site. Contact local building officials to determine if a building permit is required. We assume no responsibility for claims or damages arising from errors, omissions, misstatements, or omissions, or defects of the drawings.

Acknowledged by _____ Date _____

Customer/Contractor Signature

**PROGRESSIVE PLAN
DESIGN LLP**

RESIDENTIAL ARCHITECTURE
714 County Rd 8 NW, Smyrna, GA 30080
(678) 484-1806 FAX: (678) 484-1818



SCALE: 1" = 20'



LOT, #3 BLK. #1
 SUBDIVISION: RIDGEVIEW MANOR SIXTH
 CITY: ROCHESTER STATE: MN
 CONTRACTOR: BIGELOW / LENNON
 CUSTOMER: R.V.M. 6TH. MOD. #3-1 #2011813

PROGRESSIVE PLAN
 DESIGN LLP
 RESIDENTIAL ARCHITECTURE
 714 County Rd 3 NW Byron MN 55920
 (507)775-6677 progressiveplan@progressiveplan.com

BL-363
Ridgeview Model 3-1
6223 55th Ave NW Rochester, MN 55901

Specifications to Build a 2,612 Total Sq. Ft. Front Split
With 1,366 Sq Ft on Main
And a 728 Sq. Ft. Attached 3-Car Garage
Lot 3, Block 1 Ridgeview Manor 6th Subdivision

EXCAVATION PLUS LOT PREPARATION

All necessary excavating and rough grading
Back filled with washed gravel
City sewer and water hookups
Finish grading
Full yard sod

FOUNDATION

4" concrete basement floor
4" concrete garage floor with re-rod
Sump basket in lower level
Pea gravel installed under basement floor for the radon system

WOOD BASEMENT

2" x 6" and 2" x 8" treated studs 12", 16", 24" o.c., as required
5/8" and 1/2" treated plywood, as required
6 mill black poly
5 1/2" fiberglass insulation
4 mill vapor barrier
Electrical outlets in exterior walls
Exterior walls sheet rocked
