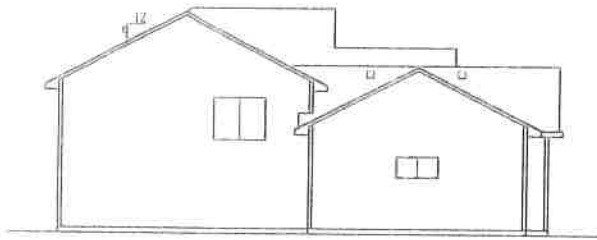
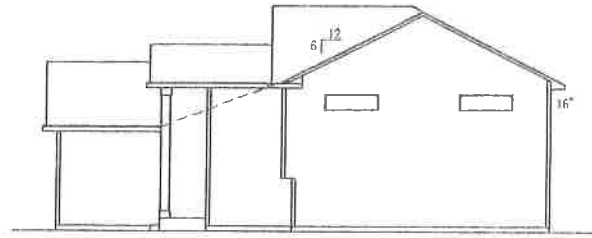


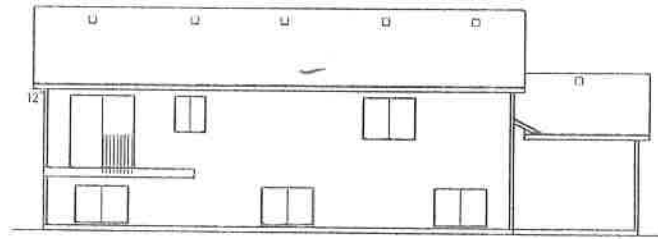
TALLULAH



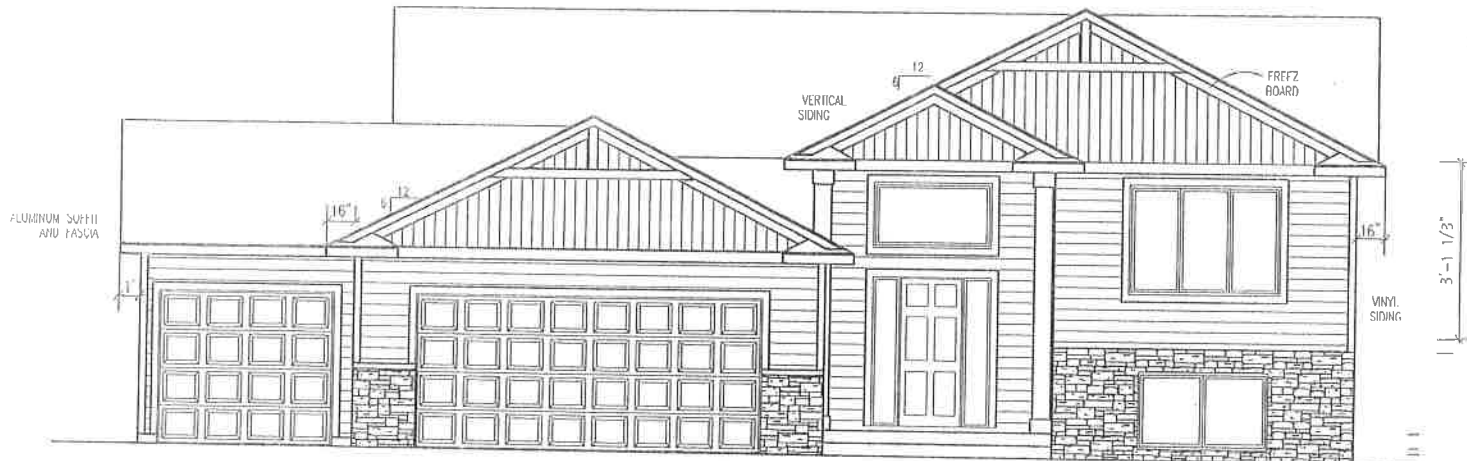
LEFT ELEVATION
SCALE: 1/8"=1'0"



RIGHT ELEVATION
SCALE: 1/8"=1'0"



REAR ELEVATION
SCALE: 1/8"=1'0"



FRONT ELEVATION
SCALE 1/4"=1'-0"

Bigelow and Lennon Construction, LLC
277 1st St. SW
Byron, MN 55920

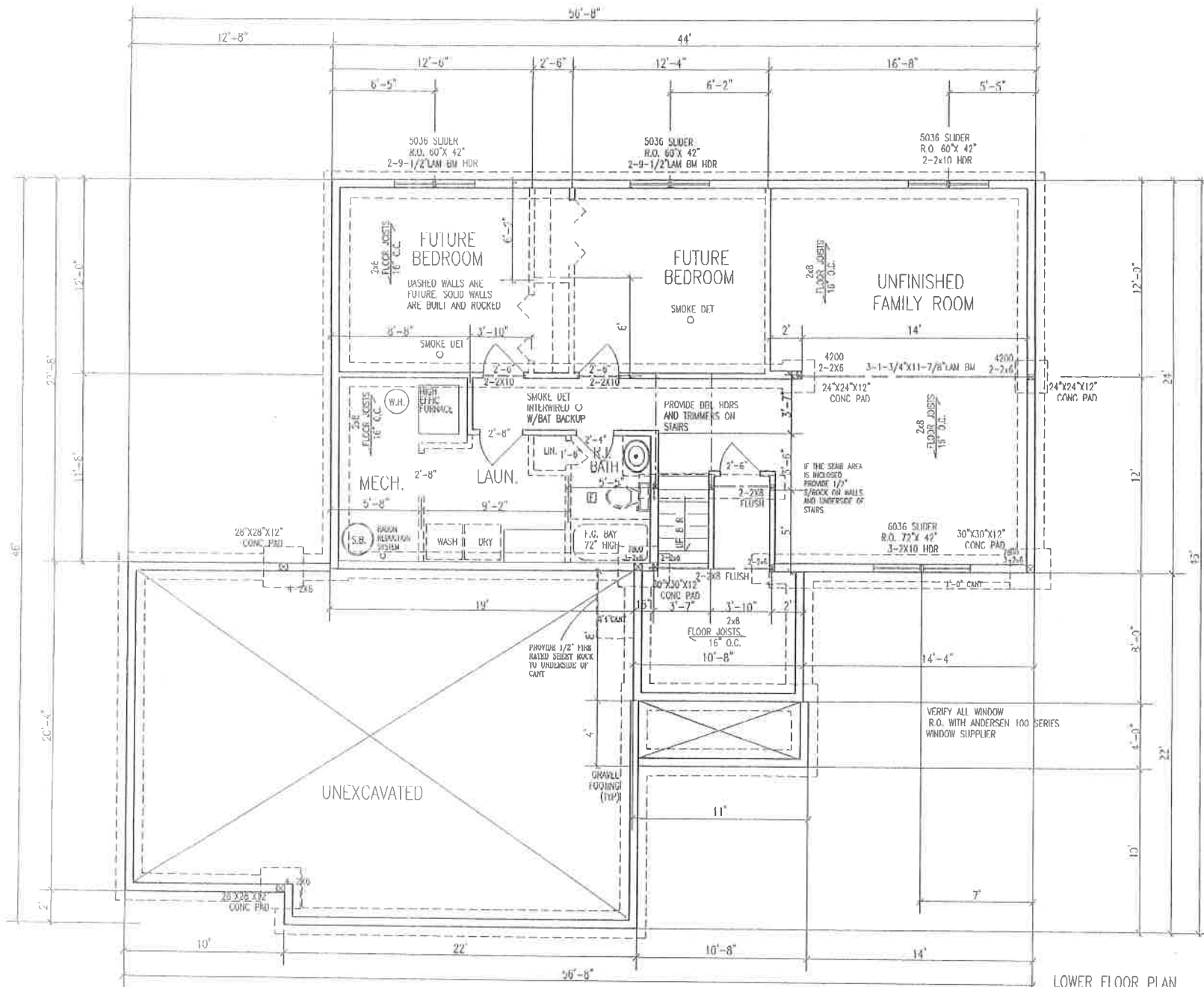
PROGRESSIVE PLAN
DESIGN LLP
RESIDENTIAL ARCHITECTURE
(507) 775-8877
progressiveplan@icgnmail.com
714 COUNTY RD. 3 N.W. BYRON MN. 55920

These drawings have been prepared and published solely for the customer/contractor and are not to be used for any other purpose. The customer/contractor is responsible for obtaining all necessary permits and approvals. The architect is not responsible for any errors or omissions in these drawings. The customer/contractor is responsible for any changes or modifications to these drawings. The architect is not responsible for any construction or installation of these drawings. The customer/contractor is responsible for any safety or health hazards associated with these drawings. The architect is not responsible for any damage or injury to any person or property resulting from the use of these drawings. The customer/contractor is responsible for any legal liability associated with these drawings. The architect is not responsible for any other matters not specifically mentioned in these drawings.

Accepted by: _____ Date: _____
Customer/Contractor Signature

PROJECT: BIGELOW/LENNON
OWNER: BL-353

DATE	BY	REVISION
3-20-19	BB	NOTED
		1911278
		NOTED



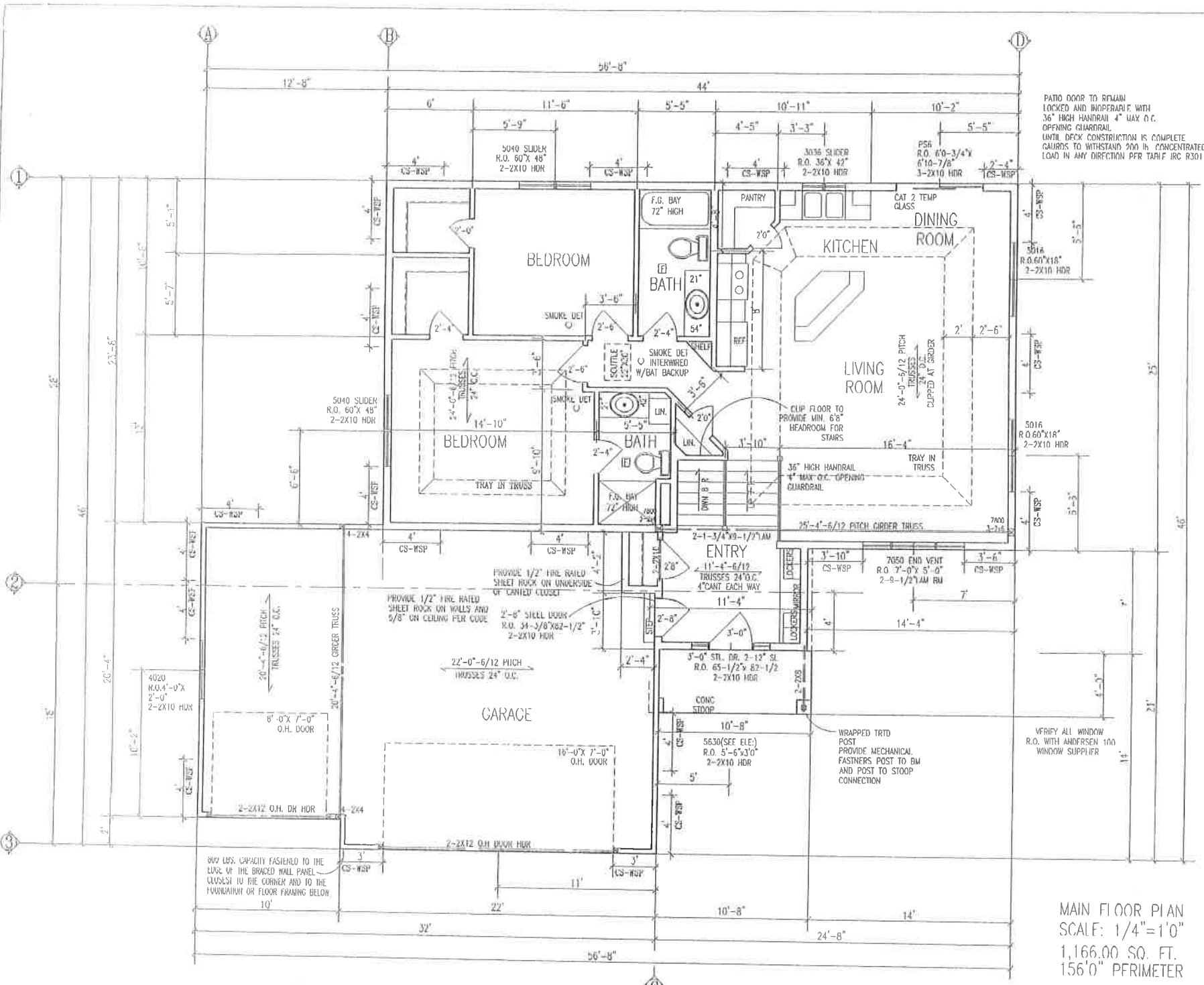
LOWER FLOOR PLAN
 SCALE: 1/4" = 1'0"
 1,151.00 SQ. FT.
 152'0" PERIMETER

PROGRESSIVE PLAN
 DESIGN LLP
 RESIDENTIAL ARCHITECTURE
 (507) 775-6877
 progressiveplanlacdesign@gmail.com
 714 COUNTY RD. 3 N.W. BYRON MN. 55920

Notes: Drawings have been prepared using information provided by the customer/contractor. A contractor is responsible for the accuracy of the information provided. The drawings are intended to be used in conjunction with the contract documents. The contractor shall verify all dimensions and conditions before construction. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for all construction details not shown on these drawings. The contractor shall be responsible for all construction details not shown on these drawings. The contractor shall be responsible for all construction details not shown on these drawings.

CONTRACTOR: BIGELOW/LENNON
 OWNER: BL-353

DATE	BY	REVISION
3-20-10	B.B.	NOTED
191127A		NOTED



PATIO DOOR TO REMAIN LOCKED AND IMPERFABLE WITH 36" HIGH HANDRAIL 4" MAX O.C. OPENING GUARDRAIL UNTIL DECK CONSTRUCTION IS COMPLETE. GUARDS TO WITHSTAND 200 LB CONCENTRATED LOAD IN ANY DIRECTION PFR TARIFF IRC R301.5

MAIN FLOOR PLAN
SCALE: 1/4" = 1'0"
1,166.00 SQ. FT.
156'0" PERIMETER

PROGRESSIVE PLAN
DESIGN LLP
RESIDENTIAL ARCHITECTURE
(507) 775-8877
714 COUNTY RD. 3 N.W. BYRON MN. 55920
progressiveplansdesign@gmail.com

These drawings have been prepared with the intention of providing a visual representation of the proposed project. They are not to be used for any other purpose without the express written consent of the architect. The architect is not responsible for any errors or omissions in these drawings, nor for any consequences arising from their use. The contractor is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The architect's liability is limited to the design of the project and does not extend to the construction or any other matters. The architect's services are provided on a non-exclusive basis and the architect does not warrant the accuracy or completeness of the drawings. The architect's drawings are prepared in accordance with the standards of the American Institute of Architects (AIA) and the International Building Code (IBC). The architect's drawings are prepared in accordance with the standards of the American Institute of Architects (AIA) and the International Building Code (IBC).

CONTRACTOR: BIGELOW/LENNON
OWNER: BL-353

DATE	BB
DATE	3-20-19
DATE	NOTED
DATE	191127A
DATE	NOTED

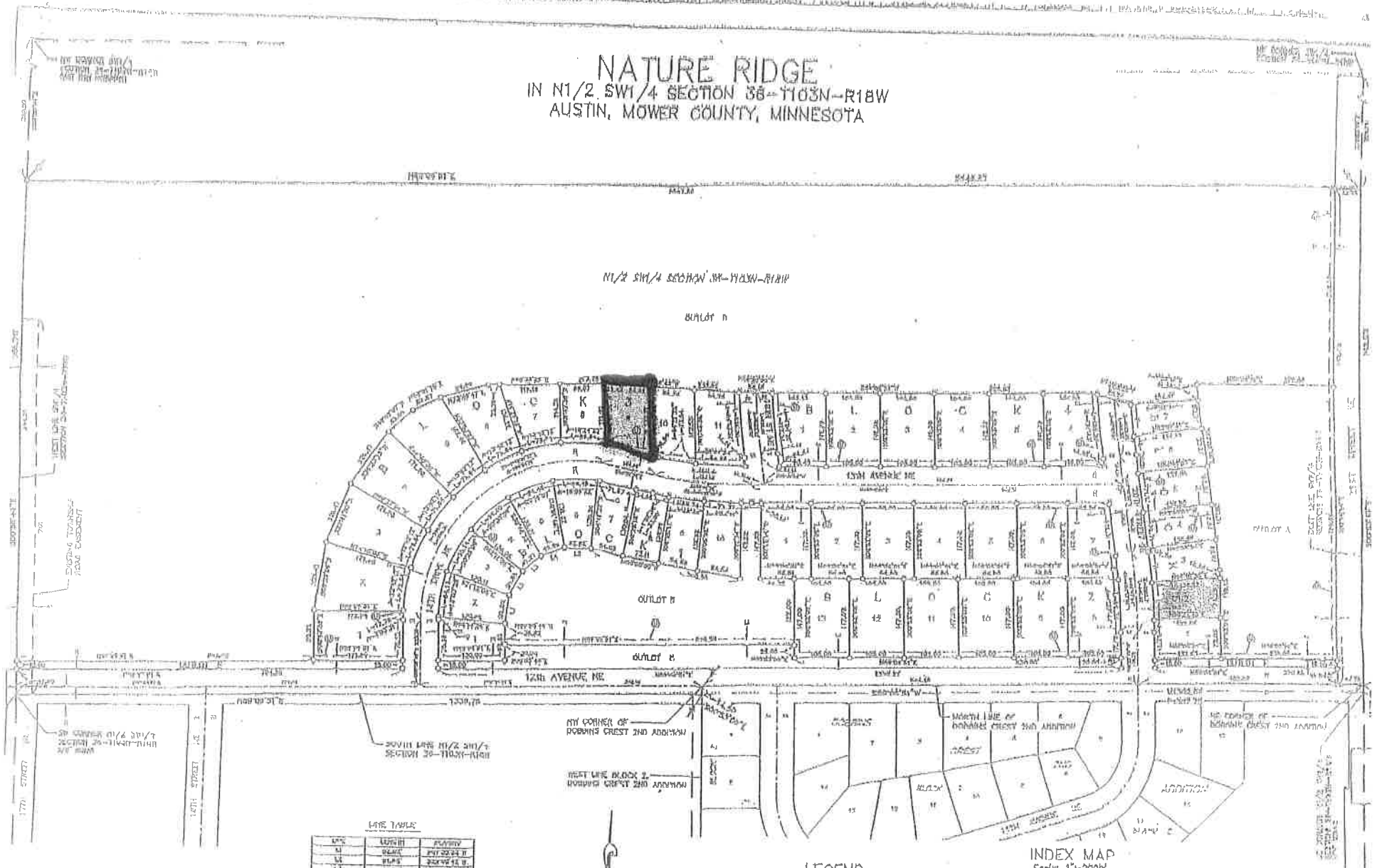
Customer/Contractor Signature _____ Date _____

NATURE RIDGE

IN N1/2 SW1/4 SECTION 36--T103N--R18W
AUSTIN, MOWER COUNTY, MINNESOTA

N1/2 SW1/4 SECTION 36--T103N--R18W

BUILT BY



LINE TABLE

LINE	BEARING	DISTANCE
1	S 89° 52' 41" E	100.00
2	S 89° 52' 41" E	100.00
3	S 89° 52' 41" E	100.00
4	S 89° 52' 41" E	100.00
5	S 89° 52' 41" E	100.00
6	S 89° 52' 41" E	100.00
7	S 89° 52' 41" E	100.00
8	S 89° 52' 41" E	100.00
9	S 89° 52' 41" E	100.00
10	S 89° 52' 41" E	100.00
11	S 89° 52' 41" E	100.00
12	S 89° 52' 41" E	100.00
13	S 89° 52' 41" E	100.00
14	S 89° 52' 41" E	100.00
15	S 89° 52' 41" E	100.00

CURVE DATA

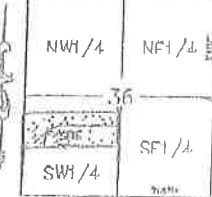
STATION	CHORD BEARING	CHORD DISTANCE	ARC DISTANCE
1	S 89° 52' 41" E	100.00	100.00
2	S 89° 52' 41" E	100.00	100.00
3	S 89° 52' 41" E	100.00	100.00
4	S 89° 52' 41" E	100.00	100.00
5	S 89° 52' 41" E	100.00	100.00
6	S 89° 52' 41" E	100.00	100.00
7	S 89° 52' 41" E	100.00	100.00
8	S 89° 52' 41" E	100.00	100.00
9	S 89° 52' 41" E	100.00	100.00
10	S 89° 52' 41" E	100.00	100.00
11	S 89° 52' 41" E	100.00	100.00
12	S 89° 52' 41" E	100.00	100.00
13	S 89° 52' 41" E	100.00	100.00
14	S 89° 52' 41" E	100.00	100.00
15	S 89° 52' 41" E	100.00	100.00

LEGEND

- N = Unmarked Boundary
- P = Plat Boundary
- O = 6" x 12" iron stake monument (original monument) placed
- A = iron stake monument - found
- S = Subdivision Plat Owner
- ⊙ = Utility Encumbrance

BASE OF BEARING SYSTEM :
ALL BEARINGS ARE BASED UPON THE BEARING OF THE
CENTRAL LINE OF 1/2 N 1/2 SW 1/4 SECTION 36--T103N--R18W
WHICH IS ASSUMED TO BE NORTH MAGNETIC EXACT.

INDEX MAP
Scale 1"=2000'



JONES, HAUGH & SMITH INC.
SURVEYING ENGINEERS & LAND SURVEYORS
815 SOUTH WASHINGTON AVENUE
ALBERT LEA, MINNESOTA 56007

JANUARY 2007
DRAWN BY JERRY JOHNSON
BY 10231410

PLATTED AREA - 57.61 ACRES

